

CHANGE ORDER



- Owner
- Architect
- Contractor
- O.P.M
- CX Agent
- Civil
- Landscape
- Geotech
- Structural
- MEP-FP
- FF&E
- Sustainability
- Acoustics
- Other
- Other

Project Name: **Haverhill Consentino Middle School** CO No. **001 (R2)**

Architect's Project No. **21-0818**

Owner: **City of Haverhill** Architect: **DORE + WHITTIER**
4 Summer Street **260 Merrimac St, Bldg 7,**
Haverhill, MA 01830 **Newburyport, MA 01950**

To: **Brait Builders Corporation** Issue Date **8/29/2024**
57 Rockwood Road Contract Date: **4/1/2024**
Marshfield, MA 02050

Attention: **TJ Dahill**

See attached list of 5 item(s) for a total of\$22,975.47

Not valid until signed by both the Owner and Architect.

Signature of the Contractor indicates his agreement herewith, including any adjustment in the Contract Sum or Contract Time.

The original Contract Sum was\$113,750,000.00

Net change by previously authorized Change Orders \$0.00

The Contract Sum prior to this Change Order was\$113,750,000.00

The Contract Sum will be **INCREASED** by this Change Order\$22,975.47

The new Contract Sum including this Change Order will be.....\$113,772,975.47

The Contract Time will be changed by(0) days

The Date of Substantial Completion as of the date of this Change Order therefore is**Friday, April 30, 2027**

AUTHORIZED:

ARCHITECT:
DORE + WHITTIER
260 Merrimac St, Bldg 7, Newburyport,
MA 01950

OWNER:
Mayor Melinda E. Barrett
4 Summer St Suite 100
Haverhill, MA 01830

CONTRACTOR:
Brait Builders Corporation
57 Rockwood Road
Marshfield, MA 02050

BY:  Digitally signed by Donald M Walter
 DN: C=US,
 E=dwaller@doreandwhittier.com,
 O="Dore + Whittier", CN=Donald
 M Walter
 Date: 2024.08.29 16:04:06-04'00'

BY: _____
 Date: _____

Name: TJ Dahill 
 Title: Project Manager _____
 Date: **8/29/2024**

Certification of Adequate Provision under M.G.L. c44, s31C:
 Adequate funding in an amount sufficient to cover the total cost of this
 Change Order is available

CCD / PR / PCO #	Description	Amount
001-R1	Abatement Lump Sum	\$ 0.00
002	FGR-1 at Receiving : Increased size of floor grille in the receiving area to meet LEED requirements	\$ 6,896.38
007	Decking Changes: composite decking in lieu of cellular decking	(\$1,541.00)
003-R1	Electrified Door Hardware: revisions to hardware sets	\$4,832.45
014-R1	Unsuitable Materials: removal of unsuitables from the site	\$ 12,787.74
Total		\$ 22,975.47

Copies of supporting documentation for each item listed above is attached following.

PCO REVIEW FORM



Project Name: **Haverhill Consentino Middle School** PCO No.

001

Architect's Project No. **21-0818**

R1

Subject: **Abatement Lump Sum Proposal** PCO Issue Date: **2024.07.08**
 PCO Reviewed: **2024.07.08**

The following is a summary of the Design Team review of the above referenced Proposed Change Order (PCO). Refer to summary below *and* attached comments. Acceptance of this PCO – or partial acceptance – shall not constitute a change to the construction contract or a directive to proceed with the work. PCO review is only a recommendation to the Owner regarding the validity and cost of the proposed PCO. Final approval shall be by the Owner per contract.

CATEGORY					
Elective / Owner		Town/AHJ/Other		Unforeseen	
Design		Other	X	GMP Expenditure	

PCO shall be reviewed by each consultant with relevant work included:

Reviewed	Revise	Rejected	Consultant:	Reviewer:	Comments:
X			Architectural:	T. King / M. Rogers	PCO proposed by Brait, reviewed with OPM and Owner001 Description modification was revised by contractor and found to be fair and reasonable. D+W would recommend approval.
			Site/Civil:		
			Traffic:		
			Geotechnical:		
			Landscape:		
			Wetlands:		
X			Haz Materials:	A. Dieb	Recommends Approval
			Structural:		
			Acoustical:		
			Foodservice:		
			Fire Protection:		
			Plumbing:		
			HVAC:		
			Electrical:		
			Lighting:		
			Telecomm:		
			Building Security:		
			Audio-Visual:		
			Theatrical:		
			Door Hardware:		
			Sustainability		

Michele Barbaro-Rogers Michele Barbaro-Rogers
 Digitally signed by Michele Barbaro-Rogers
 DN: C=US, E=mrogers@doreandwhittier.com, O=Michele Barbaro-Rogers
 Reason: I have reviewed this document
 Date: 2024.06.30 09:40:37-04'00'

X	Design Team Recommends Approval
	Design Team Does Not Recommend Approval

Brait Builders Corp.

57 Rockwood Road
Suite 3
Marshfield, MA 02050

Phone: (781) 837-6400
Fax: (781) 837-6153

PROPOSED CHANGE ORDER

No. CMS-001R-1

TITLE: Spec Section 01 35 43 & 02 28 20

DATE: 07/08/2024

PROJECT: Dr. Albert B. Consentino Middle School

JOB: CSM-2024

TO: City of Haverhill
685 Washington Street
Haverhill, MA

CONTRACT NO:

DESCRIPTION OF CHANGE

The scope of work for this lump sum proposal includes the abatement and disposal of all hazardous materials encountered in the existing building and the Transite Piping around the site (excluding non-ACM contaminated soil) regardless of scope, quantity, and the removals and disposal of construction materials. Procedures for removal and disposal will be in accordance with all applicable regulations and the requirements of the Contract Documents.

There will be no additional cost and no credits to the contract associated with abatement or demolition, removal, or disposal of hazardous and/or demolished materials (excluding non-ACM contaminated soil).

Item	Description	Quantity	Units	Unit Price	Labor Burden	Burden Amount	Net Amount
1	Brait - OH&P - 5%	0	%			\$0.00	
2	Brait - Bond - 2%	0	%			\$0.00	

Lump Sum: \$0.00

Total: \$0.00

ACCEPTED: Dore & Whittier

By: SEE COVER SHEET

Date: _____

ACCEPTED: City of Haverhill

By: _____

Stephen Dorrance

Date: _____

Brait Builders

By: 

T.J. Dahill

Date: 8/16/2024

ACCEPTED: Owners Project Manager

By: 

Suzanna Yeung

Date: 8/30/2024

PCO REVIEW FORM



Project Name: **Haverhill Consentino Middle School**

PCO No. **002**

Architect's Project No. **21-0818**

Subject: **FGR-1 at Receiving**

PCO Issue Date: **2024.05.17**

PCO Reviewed: **2024.05.21**

The following is a summary of the Design Team review of the above referenced Proposed Change Order (PCO). Refer to summary below *and* attached comments. Acceptance of this PCO – or partial acceptance – shall not constitute a change to the construction contract or a directive to proceed with the work. PCO review is only a recommendation to the Owner regarding the validity and cost of the proposed PCO. Final approval shall be by the Owner per contract.

CATEGORY					
Elective / Owner		Town/AHJ/Other		Unforeseen	
Design	X	Other		GMP Expenditure	

PCO shall be reviewed by each consultant with relevant work included:

Reviewed	Revise	Rejected	Consultant:	Reviewer:	Comments:
X			Architectural:	T. King / M. Rogers	The floor grille at the receiving area was required to be extended to meet LEED requirements. Based on the cost per square foot from PM&C during design, we find the proposed costs to be acceptable and recommend approval
			Site/Civil:		
			Traffic:		
			Geotechnical:		
			Landscape:		
			Wetlands:		
			Haz Materials:		
			Structural:		
			Acoustical:		
			Foodservice:		
			Fire Protection:		
			Plumbing:		
			HVAC:		
			Electrical:		
			Lighting:		
			Telecomm:		
			Building Security:		
			Audio-Visual:		
			Theatrical:		
			Door Hardware:		
			Sustainability		

Michele Barbaro-Rogers Michele Barbaro-Rogers
Digitally signed by Michele Barbaro-Rogers
 DN: C=US, E=mrogers@doreandwhittier.com, O=Michele Barbaro-Rogers
 Reason: I have reviewed this document
 Date: 2024.05.20 09:41:39-04'00'

X	Design Team Recommends Approval
	Design Team Does Not Recommend Approval

Brait Builders Corp.

57 Rockwood Road
Suite 3
Marshfield, MA 02050

Phone: (781) 837-6400
Fax: (781) 837-6153

PROPOSED CHANGE ORDER

No. CMS-002

TITLE: PR-03 FGR-1 at Receiving

DATE: 05/17/2024

PROJECT: Dr. Albert B. Consentino Middle School

JOB: CSM-2024

TO: City of Haverhill
685 Washington Street
Haverhill, MA

CONTRACT NO:

DESCRIPTION OF CHANGE

See costs and back up associated with PR-03

Item	Description	Quantity	Units	Unit Price	Labor Burden	Burden Amount	Net Amount
1	A&K COR#601	1	LS	\$6,439.20		\$0.00	\$6,439.20
2	Brait - OH&P - 5%	0	%	\$6,439.20		\$0.00	\$321.96
3	Brait - Bond - 2%	0	%	\$6,761.16		\$0.00	\$135.22

Lump Sum: \$6,896.38

Total: \$6,896.38

ACCEPTED: Dore & Whittier

By: SEE COVER SHEET

Date: _____

Brait Builders

By: 

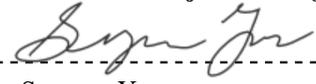
T.J. Dahill
Date: 8/16/2024

ACCEPTED: City of Haverhill

By: _____
Stephen Dorrance

Date: _____

ACCEPTED: Owners Project Manager

By: 

Suzanna Yeung
Date: 8/30/2024



Ayotte & King For Tile, Inc
 165 Trilby Ave, Chicopee, MA 01020
 P: (413) 532-9463 F: (413) 534-0149
 www.ayotteandking.com
 WBE Certified by Supplier Diversity Office (SDO)
 AA/EQE

CHANGE ORDER REQUEST

BILL TO: BRAIT BUILDERS CORPORATION
 57 ROCKWOOD ROAD, SUITE 3
 MARSHFIELD MA 02050

WORK DONE AT: CONSENTINO MIDDLE SCHOOL
 685 WASHINGTON STREET
 HAVERHILL, MA 01830

PHONE 781 837 6400 CUST# 16575

JOB NO.	CUST ORDER#	TERMS	REQUEST NUMBER	DATE
024138-601		NET 30	601	4/12/24

QUANTITY	DESCRIPTION	UNIT PRICE	AMOUNT
	PR.03 - REVISE FGR.1 AT RECEIVING		
-84	CREDIT 6' X 14'	83.00SF	-6,972.00
140	ADD 10' X 14'	83.00SF	11,620.00
	EXTRA FREIGHT	175.00	175.00
4	SELF LEVEL	28.00BG	112.00
1	PRIMER (QUART)	17.00EA	17.00
8.00	LABOR - FLOORCOVERER	102.34HR	818.72
	O&P 10%	577.07	577.07
	BOND	91.41	91.41

C/O REQUEST TOTAL

\$6,439.20

PROPOSAL REQUEST

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Owner | <input type="checkbox"/> Civil | <input type="checkbox"/> FF&E |
| <input checked="" type="checkbox"/> Architect | <input type="checkbox"/> Landscape | <input type="checkbox"/> Sustainability |
| <input checked="" type="checkbox"/> Contractor | <input type="checkbox"/> Geotech | <input type="checkbox"/> Acoustics |
| <input checked="" type="checkbox"/> O.P.M | <input checked="" type="checkbox"/> Structural | <input type="checkbox"/> Other |
| <input type="checkbox"/> CX Agent | <input type="checkbox"/> MEP-FP | <input type="checkbox"/> Other |



Project Name: **Haverhill Consentino Middle School** PR No. **03**

Architect's Project No. **21-0818**

Owner: **City of Haverhill**
4 Summer Street
Haverhill, MA 01830

Architect: **DORE + WHITTIER**
260 Merrimac St, Bldg 7,
Newburyport, MA 01950

To: **Brait Builders Corporation**
57 Rockwood Road
Marshfield, MA 02050

Contract Date: **4/1/2024**

Issue Date: **4/11/2024**

Attention: **TJ Dahill** Subject: **Floor Grille at Receiving**

Please submit an itemized quotation for changes in the Contract Sum and/ or Time incidental to proposed modifications to the Contract documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Provide costs associated with Receiving Area Floor Grille as indicated below:

At Sheet A0.13, Level 1 HCP - Area C, revise Floor Grille as shown on the attached sketch **JD-05**. Make similar revision to **S1.13**.

At Sheet A9.13, Level 1 Finish Plan – Area C, revise Floor Grille as shown on the attached **JD-06**
Make similar revisions to A1.13 and AQ1.13.

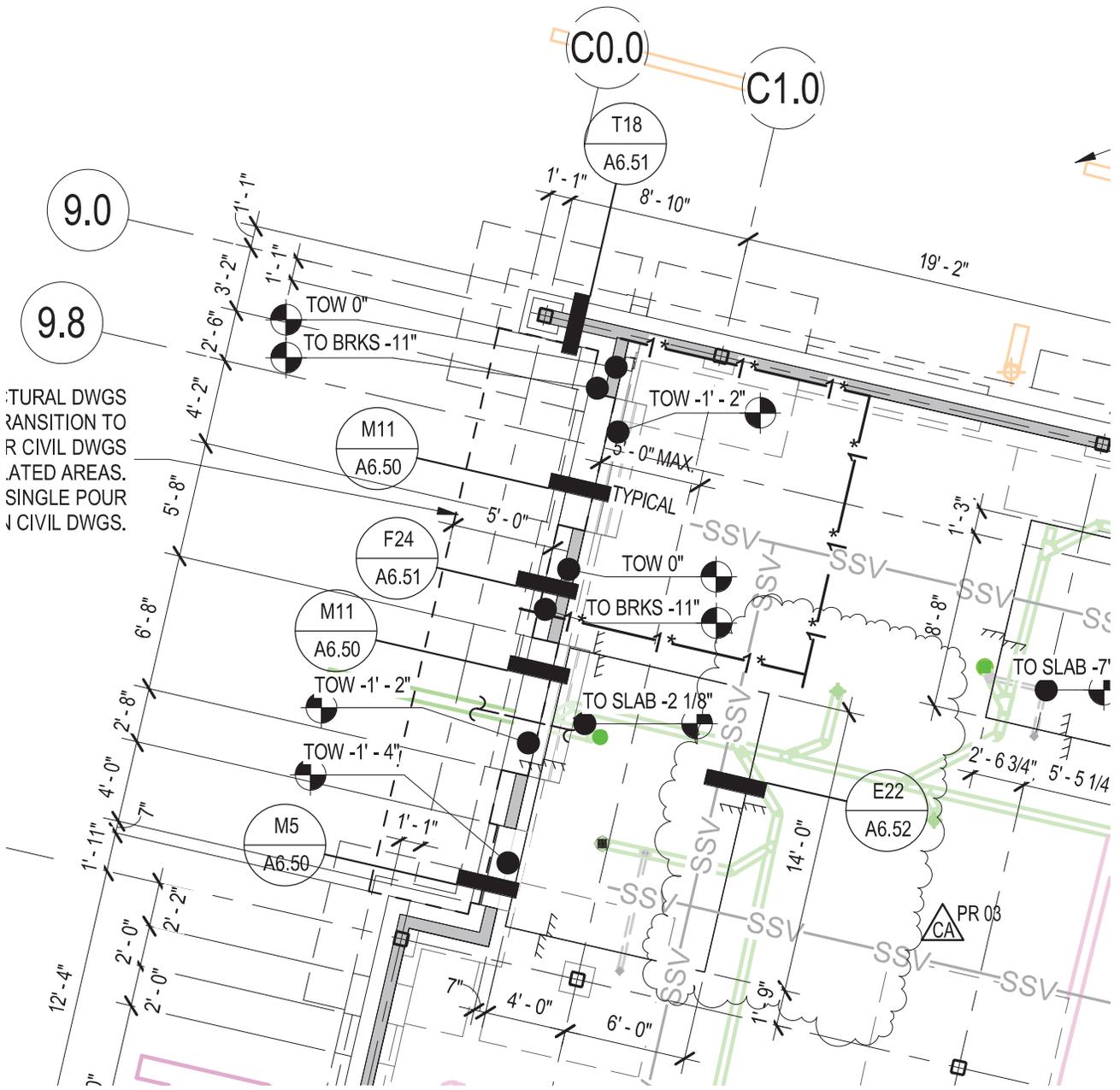
JD-05, JD-06

Issued by

DORE + WHITTIER

Tara King

Copy: File, EDG



A26 LEVEL 1 HCP - AREA C
 1/8" = 1'-0"

REF: A0.13

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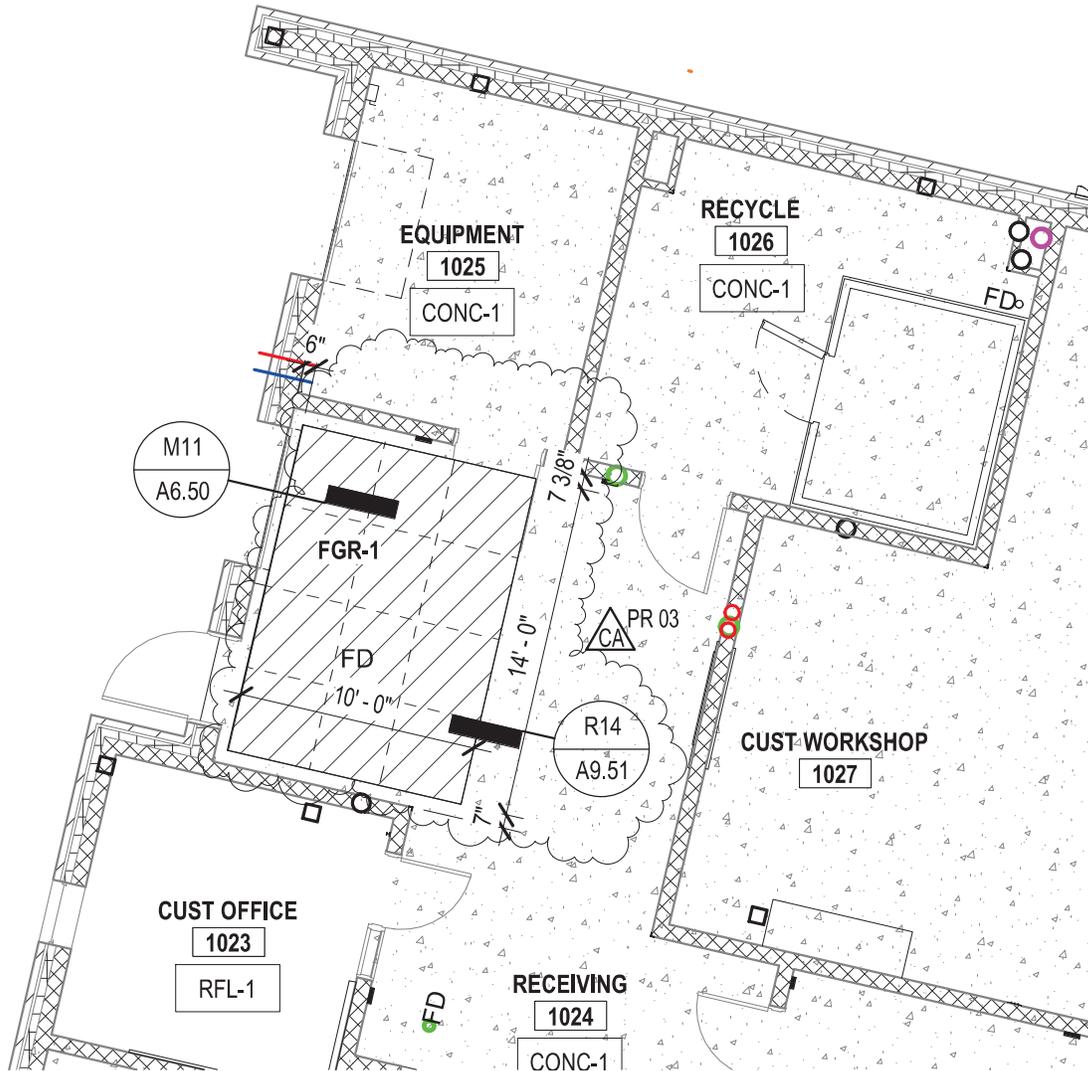


Burlington, VT 05401 (802) 863-1428	Date 04.10.2024	Sheet Title LEVEL 1 HCP - AREA C
Newburyport MA 01950 (978) 499-2999	Scale 1/8" = 1'-0"	
doreandwhittier.com		

PROJECT TITLE
PROJECT ADDRESS 1
PROJECT ADDRESS 2

Project No.
21-0818

JD-05



A26 LEVEL 1 FINISHES - AREA C
 1/8" = 1'-0"

REF: A9.13

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Burlington, VT 05401
 (802) 863-1428
 Newburyport MA 01950
 (978) 499-2999
 doreandwhittier.com

Date
 04.10.2024
 Scale
 1/8" = 1'-0"

Sheet Title
 LEVEL 1 FINISH PLAN -
 AREA C

Project No.
 21-0818

JD-06

PCO REVIEW FORM



Project Name: **Haverhill Consentino Middle School** PCO No. **003**

Architect's Project No. **21-0818**

R1

Subject: **Electrified Door hardware** PCO Issue Date: **2024.07.05**
 PCO Reviewed: **2024.07.08**

The following is a summary of the Design Team review of the above referenced Proposed Change Order (PCO). Refer to summary below *and* attached comments. Acceptance of this PCO – or partial acceptance – shall not constitute a change to the construction contract or a directive to proceed with the work. PCO review is only a recommendation to the Owner regarding the validity and cost of the proposed PCO. Final approval shall be by the Owner per contract.

CATEGORY					
Elective / Owner		Town/AHJ/Other		Unforeseen	
Design	X	Other		GMP Expenditure	

PCO shall be reviewed by each consultant with relevant work included:

Reviewed	Revise	Rejected	Consultant:	Reviewer:	Comments:
X			Architectural:	T. King / M. Rogers	This pertains to door hardware that was revised during the time of bidding and required additional coordination. We find the pricing to be fair and reasonable and recommend approval
			Site/Civil:		
			Traffic:		
			Geotechnical:		
			Landscape:		
			Wetlands:		
			Haz Materials:		
			Structural:		
			Acoustical:		
			Foodservice:		
			Fire Protection:		
			Plumbing:		
			HVAC:		
			Electrical:		
			Lighting:		
			Telecomm:		
X			Building Security:		
			Audio-Visual:		
			Theatrical:		
X			Door Hardware:	reviewed	Pricing appears fair and reasonable for the hardware components
			Sustainability		

Michele Barbaro-Rogers Michele Barbaro-Rogers
 Digitally signed by Michele Barbaro-Rogers
 DN: C=US, E=mrogers@doreandwhittier.com, CN=Michele Barbaro-Rogers
 Reason: I have reviewed this document
 Date: 2024.08.30 09:42:19-04'00'

X	Design Team Recommends Approval
	Design Team Does Not Recommend Approval

Brait Builders Corp.

57 Rockwood Road
Suite 3
Marshfield , MA 02050

Phone: (781) 837-6400
Fax: (781) 837-6153

PROPOSED CHANGE ORDER

No. CMS-003R-1

TITLE: PR-01 Electrified Door Hardware

DATE: 07/05/2024

PROJECT: Dr. Albert B. Consentino Middle School

JOB: CSM-2024

TO: City of Haverhill
685 Washington Street
Haverhill, MA

CONTRACT NO:

DESCRIPTION OF CHANGE

See costs and back up associated with PR-01

Item	Description	Quantity	Units	Unit Price	Labor Burden	Burden Amount	Net Amount
1	Kelly Bros CO#1R1	1	LS	\$4,512.00		\$0.00	\$4,512.00
2	Brait - OH&P - 5%	0	%	\$4,512.00		\$0.00	\$225.60
3	Brait - Bond - 2%	0	%	\$4,737.60		\$0.00	\$94.75

Lump Sum: \$4,832.35

Total: \$4,832.35

ACCEPTED: Dore & Whittier

By: SEE COVER SHEET

Date: _____

Brait Builders

By: 

T.J. Dahill

Date: 8/16/2024

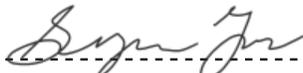
ACCEPTED: City of Haverhill

By: _____

Stephen Dorrance

Date: _____

ACCEPTED: Owners Project Manager

By: 

Suzanna Yeung

Date: 8/30/2024

PCO REVIEW FORM



Project Name: **Haverhill Consentino Middle School**

PCO No.

007

Architect's Project No. **21-0818**

Subject: **RFI-023 Decking Change**

PCO Issue Date: **2024.06.06**

PCO Reviewed: **2024.07.14**

The following is a summary of the Design Team review of the above referenced Proposed Change Order (PCO). Refer to summary below *and* attached comments. Acceptance of this PCO – or partial acceptance – shall not constitute a change to the construction contract or a directive to proceed with the work. PCO review is only a recommendation to the Owner regarding the validity and cost of the proposed PCO. Final approval shall be by the Owner per contract.

CATEGORY					
Elective / Owner		Town/AHJ/Other		Unforeseen	
Design	X	Other		GMP Expenditure	

PCO shall be reviewed by each consultant with relevant work included:

Reviewed	Revise	Rejected	Consultant:	Reviewer:	Comments:
x			Architectural:	T. King / M. Rogers	Costs were fair and reasonable. It was structurally and acoustically acceptable to provide 3” composite deck at the concrete pad in lieu of the cellar deck. We find the credit to be fair and reasonable and recommend approval
			Site/Civil:		
			Traffic:		
			Geotechnical:		
			Landscape:		
			Wetlands:		
			Haz Materials:		
			Structural:		
			Acoustical:		
			Foodservice:		
			Fire Protection:		
			Plumbing:		
			HVAC:		
			Electrical:		
			Lighting:		
			Telecomm:		
			Building Security:		
			Audio-Visual:		
			Theatrical:		
			Door Hardware:		
			Sustainability		

Michele Barbaro-Rogers
 Michele Barbaro-Rogers
 Digitally signed by Michele Barbaro-Rogers
 DN: C=US,
 E=mrogers@doreandwhittier.com,
 CN=Michele Barbaro-Rogers
 Reason: I have reviewed this document
 Date: 2024.08.30 09:42:52-04'00'

X	Design Team Recommends Approval
	Design Team Does Not Recommend Approval

Brait Builders Corp.

57 Rockwood Road
Suite 3
Marshfield , MA 02050

Phone: (781) 837-6400
Fax: (781) 837-6153

PROPOSED CHANGE ORDER

No. CMS-007

TITLE: RFI-023 Decking Change

DATE: 06/06/2024

PROJECT: Dr. Albert B. Consentino Middle School

JOB: CSM-2024

TO: City of Haverhill
685 Washington Street
Haverhill, MA

CONTRACT NO:

DESCRIPTION OF CHANGE

Costs associated with the attached for RFI-023 Decking Change.

Item	Description	Quantity	Units	Unit Price	Labor Burden	Burden Amount	Net Amount
1	Norgate NOC #1	1	LS	-\$1,541.00		\$0.00	-\$1,541.00
2	Brait - OH&P - 0%	0	%	-\$1,541.00		\$0.00	\$0.00
3	Brait - Bond - 0%	0	%	-\$1,541.00		\$0.00	\$0.00

Lump Sum: -\$1,541.00

Total: -\$1,541.00

ACCEPTED: Dore & Whittier

By: SEE COVER SHEET

Date: _____

Brait Builders

By: 

T.J. Dahill

Date: 8/16/2024

ACCEPTED: City of Haverhill

By: _____

Stephen Dorrance

Date: _____

ACCEPTED: Owners Project Manager

By: 

Suzanna Yeung

Date: 8/30/2024



NORGATE

791 8e Rue Est, La Guadeloupe (Qc) G0M 1G0

NOTIFICATION OF CHANGES

NOC No: 1 Date of request: May-24-2024 response required by: May-31-2024

Contractor: Brait Builders Project's name: Consentino Middle School

To: TJ Dahill

From: Etienne Morin Phone: 418-313-7180 Fax: _____

Ref. Document: Project RFI-023 response (Norgate RFI-019) Attachments: Back up from deck supplier

Description: Hereby credit associated with the project RFI-23 response where deck under RTU unit on S1,34 change from (8) squares of 3NLA-32 18 gauge deck (G90) to 3VLI 16 gauge deck (G60).

Steel:	W shape	0 lbs	1.10 \$	\$/lbs	0.00 \$
	L & C	0 lbs	1.45 \$	\$/lbs	0.00 \$
	Plate	0 lbs	1.75 \$	\$/lbs	0.00 \$
	HSS 3/4" to 12"	0 lbs	1.75 \$	\$/lbs	0.00 \$
	HSS 14" and +	0 lbs	2.15 \$	\$/lbs	0.00 \$
	Bolts	0 qty	2.90 \$	\$/ea	0.00 \$
	galvanized	0 lbs	0.55 \$	\$/lbs	0.00 \$
	Standard primer	0 lbs	0.15 \$	\$/lbs	0.00 \$
	Connections & Waste 10%	0 lbs	1.75 \$	\$/lbs	0.00 \$
Deck:					(1 541.00 \$)
				sub-total	(1 541.00 \$)
	Administration	0%			0.00 \$
				sub-total	(1 541.00 \$)
	Profit	0%			0.00 \$
				sub-total	(1 541.00 \$)
	TAXES:	0.00%			0.00 \$
				sub-total (material)	(1 541.00 \$)
Project manager:		0 hr	135.00 \$	\$/hr	0.00 \$
Drawings:		0 hr	100.00 \$	\$/hr	0.00 \$
Engineering:		0 hr	175.00 \$	\$/hr	0.00 \$
Fabrication & handling :		0 hr	135.00 \$	\$/hr	0.00 \$
Transport:					0.00 \$
					x \$3,200 per load
				sub-total	0.00 \$
	Administration	5%			0.00 \$
				sub-total	0.00 \$
	Profit	5%			0.00 \$
				sub-total	0.00 \$
				sub-total (workforce)	0.00 \$
Erection:					0.00 \$
	Administration	5%			0.00 \$
				sub-total	0.00 \$
	profit	5%			0.00 \$
				sub-total	0.00 \$
				sub-total (erection)	0.00 \$
	Bond:				
	Insurances:	0%			0.00 \$

Total (1 541.00 \$)

Impact on the global delivery schedule: 0 days

May-31-2024

Vulcraft of New York, Inc.
621 Main Street
P.O. Box 280
Chemung, NY 14825



Phone: (607) 529 9000
Fax: (607) 529 9001
CSR Nbr: 40000016950
Date: May 23, 2024
Page 1 of 1

CHANGE ORDER 001

-- Customer --

Customer Name: NORGATE METAL 2012 INC - DROUIN

Address: 8TH STREET EAST
LA GUADELOUPE, QC

Contact: ETIENNE MORIN

Phone: 1-418-459-3393 X289

Fax:

-- Project --

Project Number: 032-24-0241

Project Name: CONSENTINO MS

Address: 685 Washington Street
HAVERHILL, MA

PO Date: Apr 12, 2024

Customer PO: PO#6733-0859

CURRENT PO VALUE	\$576,374.00
CHANGE ORDER AMOUNT	\$-1,541.00
NEW PO VALUE	\$574,833.00

Changes Are Due To:

This change order is to revise the deck under the RTU unit on S1.34 from (8) squares of 3NLA-32 18 gage deck, using a G90 galvanized coil - unprimed to 3VLI 16 gage deck, using a G60 galvanized coil.

This change is per RFI 23 - Norgate RFI - 019 Deck Questions

Note: This Project Change Order is subject to standard Nucor terms and Conditions. This form must be signed and returned to proceed with work. The amount will be invoiced when services and/or products are delivered. This Change Order price is only valid for 10 business days from date. Noted at top of page.
**Does NOT include Sales Tax

Please send revised Purchase Order or sign and date the bottom of this document showing acceptance of the amount(s) listed above.

Printed Name: _____

Signature: _____

Date: _____



Brait Builders Corporation
 57 Rockwood Rd, Suite 3
 Marshfield, Massachusetts 02050
 P: +17818376400

Project: CMS Haverhill Middle School
 685 Washington Street
 Haverhill, Massachusetts 01830

RFI #19: CMS - RFI 19 - Norgate RFI - 015 Screen Wall Clarifications

Status	Open		
To	Tara King (Dore and Whittier) Heather Gratton (Dore and Whittier)	From	Jake McDonough (Brait Builders Corporation)
Date Initiated	May 1, 2024	Due Date	May 16, 2024
Location		Project Stage	
Cost Impact		Schedule Impact	
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From	Etienne Morin (Norgate Metal)		
Copies To	TJ Dahill (Brait Builders Corporation), Neil Dooney (Brait Builders Corporation), Heather Gratton (Dore and Whittier), Tara King (Dore and Whittier), Don Walter (Dore and Whittier)		

Activity

Question

Question from Jake McDonough Brait Builders Corporation on Wednesday, May 1, 2024 at 12:43 PM EDT

Please refer to the attached plans S1.51 & S1.52 and answer the followings;
 1- On the part plans from A3.11 & A3.12, confirm that all clouded dimensions are locating the exterior faces of the screen wall and their ends.
 2- On S1.51, the exterior face is located at 1-4 from line 3.0. Because there are roof beams and main columns located directly on line 3.0, we would like to locate the center line of the steel at 1-4 from line 3.0 to provide enough room for the base plate. See picture from our 3D model and confirm this is correct.
 3- On S1.52 at detail A6/A3.51, provide the dimension from the exterior face of the screen wall to the face of the HSS as shown.
 4- On the part plans from A3.11 & A3.12, the top of walls are all called out at 69'-4". Based on A6/A3.51 & 8/S0.08, confirm the elevation of the higher HSS is at 69'-2".
 5- On 8/S0.08, provide the elevation at the top of the lower HSS beam.
 6- On S1.51 at detail 8/S0.08, advise if the 2-0 is correct for the post length at both screen walls shown on this plan.
 7- On S1.52 at detail 8/S0.08, advise if the 2-0 is correct for the post length at the screen wall shown on this plan.
 8- On S1.51 at the part plan from A3.11, we added a red square showing the HSS at the end of the wall being flush with it. Confirm this is correct or advise otherwise.
 9- On S1.51, the clouded picture shows the connection we have been using at screen walls with EDG for the last projects. Since everything is galvanized, a bolted connection like this ensure a better durability and does not affect the performance of the galvanization. Confirm we can use this connection also on this project. (All made with 3/8 plates and (2) 3/4 dia. bolts)

Attachments

[CMS - RFI 19 - Norgate RFI - 015 Screen Wall Clarifications.pdf](#)

Awaiting an Official Response

EDG: See comments on attached sketch.

Tim Hill - 05/15/2024

SECTION 01 30 01
REQUEST FOR INTERPRETATION FORM
CONSENTINO MIDDLE SCHOOL - #21-0818

TO:	FROM:	RFI #:
Dore & Whittier Architects Inc. 260 Merrimac St., Bldg.7 Newburyport, MA 01950	Brait Builders	RFI - 019
Attn: Tara King	Reply Requested by: Jake McDonough	Issue Date: 05/01/24
RFI DESCRIPTION (Indicate origin of RFI, and summarize the question or type of information required):		
<p>Please refer to the attached plans S1.51& S1.52 and answer the followings;</p> <ol style="list-style-type: none">1- On the part plans from A3.11 & A3.12, confirm that all clouded dimensions are locating the exterior faces of the screen wall and their ends.2- On S1.51, the exterior face is located at 1-4 from line 3.0. Because there are roof beams and main columns located directly on line 3.0, we would like to locate the center line of the steel at 1-4 from line 3.0 to provide enough room for the base plate. See picture from our 3D model and confirm this is correct.3- On S1.52 at detail A6/A3.51, provide the dimension from the exterior face of the screen wall to the face of the HSS as shown.4- On the part plans from A3.11 & A3.12, the top of walls are all called out at 69'-4". Based on A6/A3.51 & 8/S0.08, confirm the elevation of the higher HSS is at 69'-2".5- On 8/S0.08, provide the elevation at the top of the lower HSS beam.6- On S1.51 at detail 8/S0.08, advise if the 2-0 is correct for the post length at both screen walls shown on this plan.7- On S1.52 at detail 8/S0.08, advise if the 2-0 is correct for the post length at the screen wall shown on this plan.8- On S1.51 at the part plan from A3.11, we added a red square showing the HSS at the end of the wall being flush with it. Confirm this is correct or advise otherwise.9- On S1.51, the clouded picture shows the connection we have been using at screen walls with EDG for the last projects. Since everything is galvanized, a bolted connection like this ensure a better durability and does not affect the performance of the galvanization. Confirm we can use this connection also on this project. (All made with 3/8 plates and (2) ¾ dia. bolts)		
REFERENCES (List relevant Drawings or Specification sections and paragraphs):		

SENDER'S RECOMMENDATION (All RFIs must include a contractor's recommended solution to each condition, including a statement of cost or schedule of impact if applicable. The contractor may be back-charged by the Owner for designer's review time for any RFI submitted without a sender's recommended solution or where response is evident in Drawings.)

DESIGNER'S RESPONSE:

Refer to comments within attachment

BY: Tara King

DATE: 05/15/2024

COPIES TO:

END OF SECTION

Request for Interpretation Form

01 30 01 - 1



NORGATE

791 8e Rue Est, La Guadeloupe (Qc) G0M 1G0

FO-7.1-1

REQUEST FOR INFORMATION

RFI No: 015

Date of Request: 04-30-24

Response required by: 05-03-24

Contractor: Brait Builders

Project's name: Consentino Mid School (S24-859)

To: TJ Dahill

Phone: 781-837-6400

From: Etienne Morin

Ref. Document: S1.51 & S1.52 – Screen wall clarifications

Attachments: S1.51 & S1.52

Problem Identification or Question:

Please refer to the attached plans S1.51 & S1.52 and answer the followings;

- 1- On the part plans from A3.11 & A3.12, confirm that all clouded dimensions are locating the exterior faces of the screen wall and their ends.
- 2- On S1.51, the exterior face is located at 1-4 from line 3.0. Because there are roof beams and main columns located directly on line 3.0, we would like to locate the center line of the steel at 1-4 from line 3.0 to provide enough room for the base plate. See picture from our 3D model and confirm this is correct.
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- 5- On 8/S0.08, provide the elevation at the top of the lower HSS beam.
- 6- On S1.51 at detail 8/S0.08, advise if the 2-0 is correct for the post length at both screen walls shown on this plan.
- 7- On S1.52 at detail 8/S0.08, advise if the 2-0 is correct for the post length at the screen wall shown on this plan.
- 8- On S1.51 at the part plan from A3.11, we added a red square showing the HSS at the end of the wall being flush with it. Confirm this is correct or advise otherwise.
- 9- On S1.51, the clouded picture shows the connection we have been using at screen walls with EDG for the last projects. Since everything is galvanized, a bolted connection like this ensure a better durability and does not affect the performance of the galvanization. Confirm we can use this connection also on this project. (All made with 3/8 plates and (2) 3/4 dia. bolts)

Selected Resolution By: _____ **Date:** _____

APPROVER : Make sure that all questions related to this RFI (including the ones shown on attached sketches) are clearly answered to avoid delays.



Brait Builders Corporation
 57 Rockwood Rd, Suite 3
 Marshfield, Massachusetts 02050
 P: +17818376400

Project: CMS Haverhill Middle School
 685 Washington Street
 Haverhill, Massachusetts 01830

RFI #23: CMS - RFI 23 - Norgate RFI - 019 Deck Questions

Status	Open		
To	Tara King (Dore and Whittier) Heather Gratton (Dore and Whittier)	From	Jake McDonough (Brait Builders Corporation)
Date Initiated	May 3, 2024	Due Date	May 18, 2024
Location		Project Stage	
Cost Impact		Schedule Impact	
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From	Etienne Morin (Norgate Metal)		
Copies To	TJ Dahill (Brait Builders Corporation), Neil Dooney (Brait Builders Corporation), Heather Gratton (Dore and Whittier), Tara King (Dore and Whittier), Don Walter (Dore and Whittier)		

Activity

Question

Question from Jake McDonough Brait Builders Corporation on Friday, May 3, 2024 at 10:39 AM EDT
 Please find attached our Joist and Deck subcontractor Vulcraft's RFI-002 and 003 for deck questions.

Attachments
[CMS - RFI 23 - Norgate RFI - 019 Deck Questions.pdf](#)

Awaiting an Official Response

EDG:

See comments on page 5 and 6.

Tim Hill - 05/16/2024

SECTION 01 30 01
REQUEST FOR INTERPRETATION FORM
CONSENTINO MIDDLE SCHOOL - #21-0818

TO: Dore & Whittier Architects Inc. 260 Merrimac St., Bldg.7 Newburyport, MA 01950	FROM: Brait Builders	RFI #: RFI - 023
Attn: Tara King	Reply Requested by: Jake McDonough	Issue Date: 05/03/24
RFI DESCRIPTION (Indicate origin of RFI, and summarize the question or type of information required): Please find attached our Joist and Deck subcontractor Vulcraft's RFI-002 and 003 for deck questions.		
REFERENCES (List relevant Drawings or Specification sections and paragraphs): 		
SENDER'S RECOMMENDATION (All RFIs must include a contractor's recommended solution to each condition, including a statement of cost or schedule of impact if applicable. The contractor may be back-charged by the Owner for designer's review time for any RFI submitted without a sender's recommended solution or where response is evident in Drawings.) 		
DESIGNER'S RESPONSE:		

DESIGNER'S RESPONSE:

Refer to comments
within attached
document.

BY: Tara King

DATE: 05/16/2024

COPIES TO:

END OF SECTION

Request for Interpretation Form
01 30 01 - 1

ATTN: Etienne Morin
Norgate Metal
e.morin@norgatemetals.com
1-418-459-3393 X289

VNY Job #: 032-24-0241
Project: CONSENTINO MS
RFI Title: CELL DECK SIDELAP ATTACHMENT
Reference:
Date Issued: 4/30/2024

Question:

The 3" cellular acoustic decking being requested has interlocking side lap attachment. The general note SD3 indicates the deck side lap attachment to be screwed. Vulcraft does not determine the method of attachment but wanted to advise that this deck type does not have screwable side laps, another method of attachment will need to be utilized. Generally, this deck is seam welded or button punched. Please provide alternate method of attachment below.

Answer:

EDG:

3" Cellular acoustical deck side laps may be button punched at 12" OC.

Tim Hill - 05/16/2024

Signed: _____

Date: _____

Answer Deadline: 5/7/2024

The delivery schedule for this project cannot be determined until all answers to these questions are received. Please contact me or the project manager with any questions.

Chris Watson
cwatson@vulcraft-ny.com
(607)529-9166

Vinny Ferlisi
VFerlisi@Vulcraft-NY.com
603-894-1146

ATTN: Etienne Morin
Norgate Metal
e.morin@norgatemetals.com
1-418-459-3393 X289

VNY Job #: 032-24-0241
Project: CONSENTINO MS
RFI Title: RTU SLAB DECK
Reference:
Date Issued: 4/30/2024

Question:

Please confirm deck type on S1.34 under the mechanical unit roof slab at grid line intersection D4.0 and grid 14.0 is to be 3" 18/20 cellular acoustical roof deck and not 3" 16ga composite deck as indicated in the section 2/S0.08 cut at the slab edge perimeter.

Answer:

EDG:

We confirm decking to be 3" 18/20 acoustical roof deck as per shown on plan drawing S1.34. Architect please confirm.

Tim Hill - 05/16/2024

Acoustical deck as per owned in the documents for majority of gym roof. It is structurally acceptable to provide 3" composite deck at the concrete pad for gym RTU in lieu of the cellar deck. Contractor to provide a credit.

Signed: _____

Date: _____

Answer Deadline: 5/7/2024

The delivery schedule for this project cannot be determined until all answers to these questions are received. Please contact me or the project manager with any questions.

Chris Watson
cwatson@vulcraft-ny.com
(607)529-9166

Vinny Ferlisi
VFerlisi@Vulcraft-NY.com
603-894-1146

PCO REVIEW FORM



Project Name: **Haverhill Consentino Middle School**

PCO No.

014

Architect's Project No. **21-0818**

R1

Subject: **Unsuitable Materials**

PCO Issue Date: **2024.06.24**

PCO Reviewed: **2024.07.18**

The following is a summary of the Design Team review of the above referenced Proposed Change Order (PCO). Refer to summary below *and* attached comments. Acceptance of this PCO – or partial acceptance – shall not constitute a change to the construction contract or a directive to proceed with the work. PCO review is only a recommendation to the Owner regarding the validity and cost of the proposed PCO. Final approval shall be by the Owner per contract.

CATEGORY					
Elective / Owner		Town/AHJ/Other		Unforeseen	X
Design	X	Other		GMP Expenditure	

PCO shall be reviewed by each consultant with relevant work included:

Reviewed	Revise	Rejected	Consultant:	Reviewer:	Comments:
X			Architectural:	T. King / M. Rogers	The cubic yards provided in the PCO have been revised to align with Base bid allowance and email correspondence. We find the pricing to be fair and reasonable and recommend approval
			Site/Civil:		
			Traffic:		
X			Geotechnical:	JK	It is acceptable to remove and replace unsuitable with structural fill
			Landscape:		
			Wetlands:		
			Haz Materials:		
			Structural:		
			Acoustical:		
			Foodservice:		
			Fire Protection:		
			Plumbing:		
			HVAC:		
			Electrical:		
			Lighting:		
			Telecomm:		
			Building Security:		
			Audio-Visual:		
			Theatrical:		
			Door Hardware:		
			Sustainability		

Michele Barbaro-Rogers Michele Barbaro-Rogers
Digitally signed by Michele Barbaro-Rogers
 DN: C=US,
 E=mrogers@doreandwhittier.com,
 CN=Michele Barbaro-Rogers
 Reason: I have reviewed this document
 Date: 2024.08.30 09:43:52-04'00'

X	Design Team Recommends Approval
	Design Team Does Not Recommend Approval

Brait Builders Corp.

57 Rockwood Road
Suite 3
Marshfield , MA 02050

Phone: (781) 837-6400
Fax: (781) 837-6153

PROPOSED CHANGE ORDER

No. CMS-014 R1

TITLE: Unsuitable Materials

DATE: 06/24/2024

PROJECT: Dr. Albert B. Consentino Middle School

JOB: CSM-2024

TO: City of Haverhill
685 Washington Street
Haverhill, MA

CONTRACT NO:

DESCRIPTION OF CHANGE

Costs associated with the attached for Unsuitable Materials.

Item	Description	Quantity	Units	Unit Price	Labor Burden	Burden Amount	Net Amount
1	JDC PCO-3	1	LS	\$11,940.00		\$0.00	\$11,940.00
2	Brait - OH&P - 5%	0	%	\$11,940.00		\$0.00	\$597.00
3	Brait - Bond - 2%	0	%	\$12,537.00		\$0.00	\$250.74

Lump Sum: \$12,787.74

Total: \$12,787.74

ACCEPTED: Dore & Whittier

By: SEE COVER SHEET

Date: _____

Brait Builders

By: 

T.J. Dahill

Date: 8/16/2024

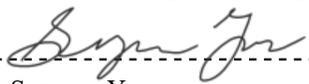
ACCEPTED: City of Haverhill

By: _____

Stephen Dorrance

Date: _____

ACCEPTED: Owners Project Manager

By: 

Suzanna Yeung

Date: 8/30/2024

J. DERENZO COMPANY



338 HOWARD ST. | BROCKTON, MA | 02302 | 508.427.6441

June 21, 2024

Brait Builders Corp.
57 Rockwood Road, Suite 3
Marshfield, MA 02050

Attn: **Robert Brait**
Project: **Consentino MS- Haverhill, MA**
Re: **PCO #3- Unsuitable Fill Removal- Update #1**

Dear Bob,

J. Derenzo Company is pleased to provide this cost proposal for the added cost associated with removal and replacement of 699 CY of unsuitable fill below the foundation.

699 CY – 500 CY Carried in Base Contract = 199 CY

199 CY x \$60/CY = \$11,940.00

The Total Add is \$11,940.00

Please do not hesitate to contact me if you have any questions.

Respectfully,
J. DERENZO CO.

Bradd Biagini

Bradd Biagini
Project Manager